



GENERAL NOTES

1. GENERALLY, DRIVEWAY TO BE LOCATED TO MAXIMIZE SHEET FLOW DRAINAGE FROM HOUSE, DRIVEWAY, ETC.
2. GENERALLY, DRIVEWAYS TO BE GRADED WITH 2.0% MIN. CROSS FALL.
3. WHERE DITCHING IS REQUIRED, 9.0M MINIMUM 450MM LO-HED EQUIV. CSP'S ARE TO BE INSTALLED UNDER PROPOSED DRIVEWAYS.
4. GENERALLY, HOUSE TO BE CONSTRUCTED UPON A 300MM. (MIN. VERTICAL) APRON WITH THE TOE OF THE APRON MEETING EXISTING GRADE OF LOT.
5. GRADING OF THE APRON (I.E. WITHIN 2.4 M OF THE BUILDING) SHOULD BE MAINTAINED AT STANDARD GRADE OF BETWEEN 2% AND 5%. (MIN.)
6. AREAS DISTURBED BY LOT GRADING SHALL BE LIMITED TO THOSE AREAS NECESSARY TO CONSTRUCT HOME, DRIVEWAY & SEPTIC BED.
7. DOWNSPOUTS TO BE CONSTRUCTED TO SPLASH BLOCKS.
8. MAINTAIN MINIMUM 1.22M COVER FOR FOOTINGS.
9. STEP FOOTINGS WHERE REQUIRED.
10. DRIVEWAYS TO DRAIN TO STREET.

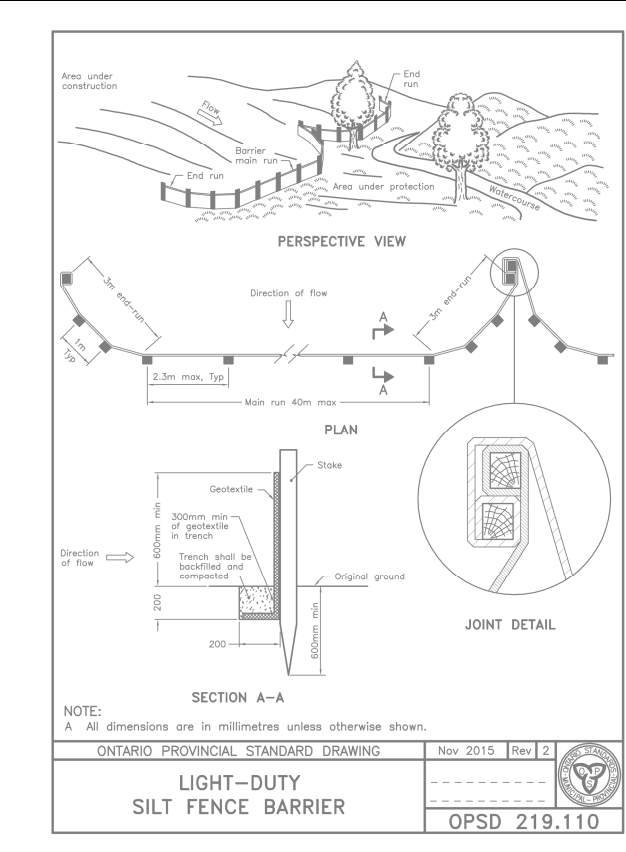
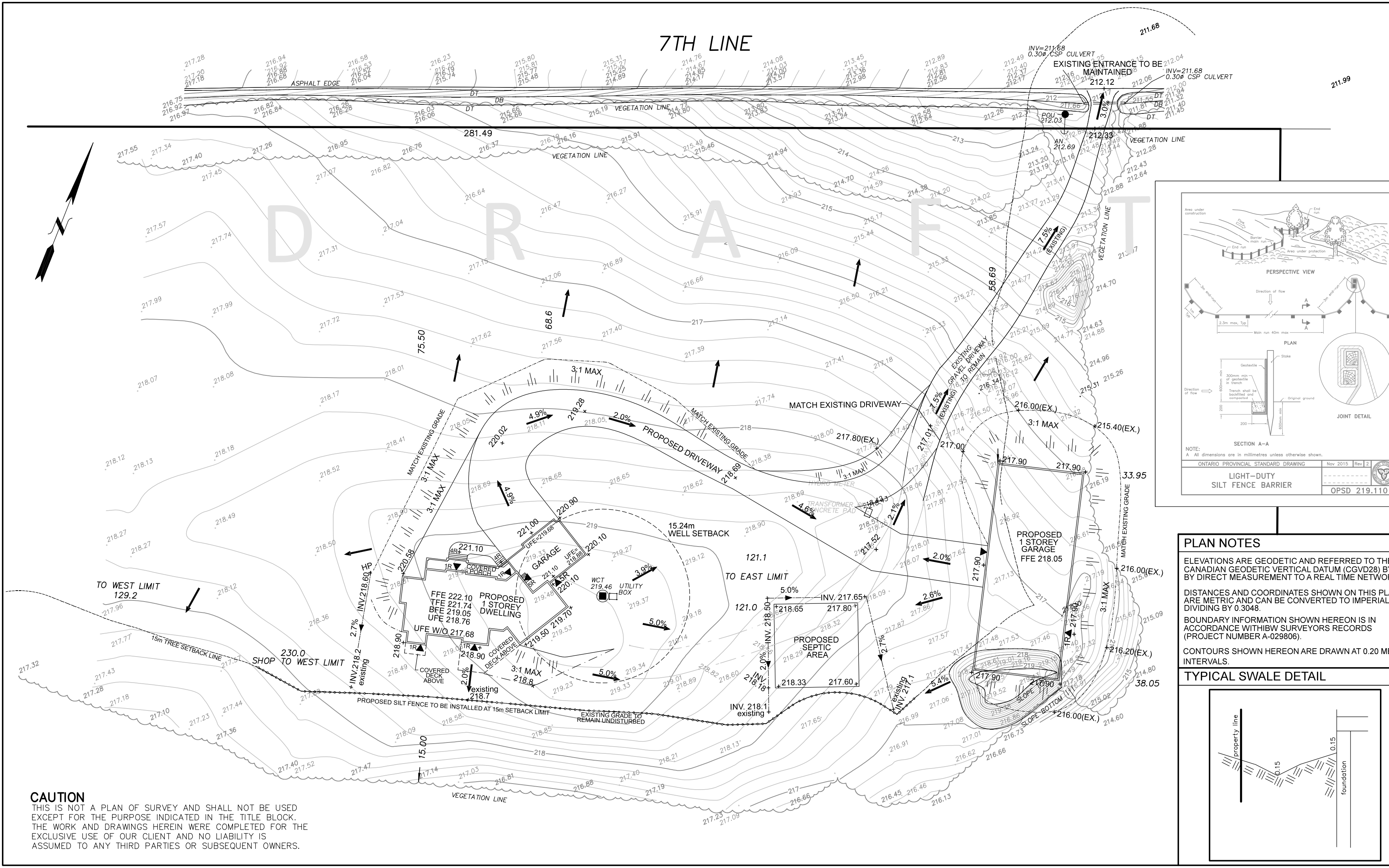
UNDERSIDE OF FOOTING MAY BE LOWER THAN ELEVATION NOTED DUE TO EXISTING CONDITIONS, EXACT DEPTH OF FOOTING TO BE DETERMINED ON SITE DURING EXCAVATION FOR FOOTING

LEGEND

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|---------|----------------------------------|-----|----------------------------|
| FFE | FIRST FLOOR ELEVATION | ← | SWALE DRAINAGE |
| TFE | TOP OF FOUNDATION ELEVATION | ← | SHEET DRAINAGE |
| BFE | BASEMENT FLOOR ELEVATION | ○ | ROOF LEADER |
| UFE | UNDERSIDE OF FOOTING ELEVATION | ● | MH MAINTENANCE HOLE |
| 123.45 | EXISTING SPOT ELEVATION | ○ | CB CATCH BASIN |
| x100.00 | PROPOSED ELEVATION | ● | POU UTILITY POLE |
| DT | DITCH TOP | ⊕ | WV WATER VALVE |
| DB | DITCH BOTTOM | ⊙ | FH FIRE HYDRANT |
| WC | WELL CAP ELEVATION AT TOP CENTRE | ⊖ | AN ANCHOR POINT |
| | | ⊕ | CSP CORRUGATED STEEL PIPE |
| | | INV | INVERT ELEVATION AT CENTRE |

SITE STATISTICS GARAGE DWELLING TOTAL

ZONING	—	RU
LOT AREA	—	>33919.2 m ²
BUILDING AREA	—	557.4 m ² 468.9 m ² 1026.3 m ²
LOT COVERAGE	—	<1.6 % <1.4 % <3.0 %
BUILDING HEIGHT	—	±5.4 m ±8.3 m
ESTABLISHED GRADE	—	216.44 218.42
NUMBER OF STOREYS	—	1 1

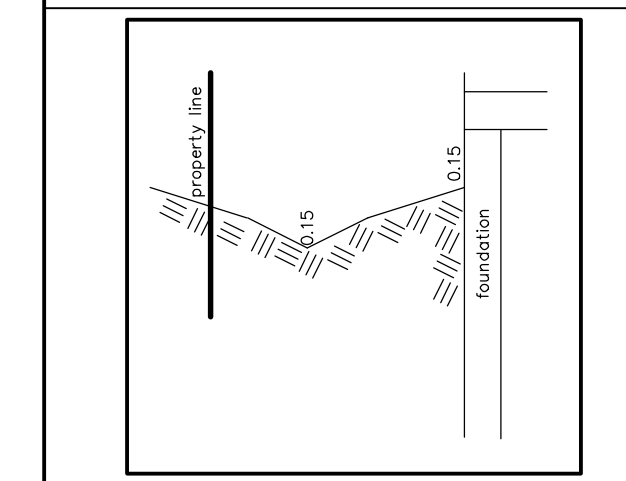


PLAN NOTES

ELEVATIONS ARE GEODETIC AND REFERRED TO THE CANADIAN GEODETIC VERTICAL DATUM (CGVD28) BY DIRECT MEASUREMENT TO A REAL TIME NETWORK.
 DISTANCES AND COORDINATES SHOWN ON THIS PLAN ARE METRIC AND CAN BE CONVERTED TO IMPERIAL BY DIVIDING BY 0.3048.
 BOUNDARY INFORMATION SHOWN HEREON IS IN ACCORDANCE WITH IBW SURVEYORS RECORDS (PROJECT NUMBER A-029806).

CONTOURS SHOWN HEREON ARE DRAWN AT 0.20 METRE INTERVALS.

TYPICAL SWALE DETAIL



CAUTION
 THIS IS NOT A PLAN OF SURVEY AND SHALL NOT BE USED EXCEPT FOR THE PURPOSE INDICATED IN THE TITLE BLOCK. THE WORK AND DRAWINGS HEREIN WERE COMPLETED FOR THE EXCLUSIVE USE OF OUR CLIENT AND NO LIABILITY IS ASSUMED TO ANY THIRD PARTIES OR SUBSEQUENT OWNERS.