



Municipality of Port Hope

56 Queen Street
Port Hope, ON
L1A 3Z9

November 1, 2022

Jamie and Kristin Ferguson
7994 Mill Street
Garden Hill, Ontario

RE: Planning Review
Zoning By-law Amendment Application (ZB03-2022)
Site Plan Application (SP03-2022)
3402 Ganaraska Road

Dear Sir/Madam,

Based on the submissions to date, it is staff's understanding that you are proposing to rezone the subject lands from Institutional Rural Exception #2 'IR(2)' Zone to site specific Development 'D' Zone that will permit the following uses:

- Year-round farm market store
- Café / Bakery with commercial kitchen
- Recognition of the current legal non-conforming agriculture activities for crops excluding livestock facilities
- New potential future uses to include:
 - a single detached dwelling
 - accessory farm employee accommodations,
 - accessory buildings or structures,
 - a home occupation,
 - farm-related tourism establishment, and
 - community garden.

PLANNING ASSESSMENT/COMMENTS:

Municipality of Port Hope Official Plan

The Municipality of Port Hope Official Plan 2017 (OP) designates the subject lands as "Hamlet".

Policies in section D2.2 of the Official Plan outlines permitted uses in the Hamlet Designation:

- A mix of suitable residential and commercial, developed on private sewage and water systems, at appropriate densities, shall be encouraged within the hamlet designations.
- The predominant form of land use shall be single detached dwellings. Other residential permitted uses shall include: multiple-unit residential development; apartments units above the first floor of a retail commercial use provided that a detailed hydrogeological study confirms an adequate supply of groundwater and the ability of the site soils to assimilate the wastes from the septic systems. A home occupation shall also be permitted as an accessory residential use.

Servicing related policy:

Policy C12.1.2 of the Official Plan outlines that all development in hamlets and rural areas, except in areas specifically designated for municipal sewer and water systems shall be serviced by private sewer and water systems.

- **Desktop Hydrogeology Assessment** prepared by C.F. Crozier and Associates, dated August 29, 2022 outlines that proposed development includes the construction of a market building and provides conclusions based on the market building only. Staff notes that none of the other potential future uses including single-detached dwelling, farm employee accommodation, accessory buildings or structures etc. are considered in the study.
- **Stormwater Management Letter** prepared by Monument Geomatics and Estimating Inc., dated August 10, 2022 only investigated the impacts of the construction of farmer's market building on the drainage pattern. Staff notes that the impact of other potential future uses on the drainage of the site was not included in the letter.
- **Traffic Impact Study**, prepared by D.M. Wills Associated Limited, dated March 2022 assesses the impact of the proposed Farmer's Market on traffic operations of County Road 9. None of the other above-mentioned uses are evaluated in this study.
- **Site plan**, prepared by Monument Geomatics and Estimating Inc., dated October 5, only shows farm market building and layout of 15 parking spaces required for farm market building.

At this stage it would be beneficial you provide the following information:

1. Area and general location of other potential future uses in the site plan drawing, their setbacks from lot lines and approximate distance between uses.
 2. Location of accessory buildings/structures and their proposed use.
 3. Details on the farm employee accommodation use (i.e. the approximate building footprint, number of stories, height, number of the employees, servicing, etc.). Please refer to Section 4.3 of the [Zoning By-law 20/2010](#), as amended for specific provisions of Farm Employee Accommodation.
-

4. The Home Occupation use that is being proposed, where it will be located and the approximated footprint/area. Please refer to section 4.13 of the [Zoning By-law 20/2010](#), as amended for specific provisions of Home Occupation.
5. Location and number of parking spaces for all the other uses, and if any loading spaces are being proposed.
6. Information on private sewage system(s) as required by County of Northumberland.

All this information will be required in response to comments from agencies and departments, and to establish special provisions for site-specific zoning.

Please feel free to contact me should you have any questions related to this matter.

Sincerely,

Sagar Babbar
Planner
Municipality of Port Hope

Planning and Development Department
e. sbabbar@porthope.ca



October 27, 2022

Sagar Babbar, MA
Planner
Municipality of Port Hope
5 Mill Street South
Port Hope, Ontario L1A 2S6

RE: County Review of a Zoning By-law Amendment Application – ZB03-2022 and Application for Site Plan Review – SP03-2022

Related File: B01/20
Applicants: Jamie and Kristin Ferguson
Location: 3402 Ganaraska Road, (Garden Hill)
(Part of Lot 18, Concession 8)
Municipality: Municipality of Port Hope
County File: D14-PH22

This letter is in response to a request for comments on the above-noted application. We have completed our review and offer the following comments with respect to the Northumberland County Official Plan, Provincial policies, County services and other County and Provincial interests.

Purpose

The purpose of the zoning by-law amendment application is to rezone the subject property from Rural Institutional 'IR(2)' Zone to a site-specific Development 'D' Zone to permit commercial (e.g., a Farmers Market Store and Restaurant - café/bakery) and agricultural (e.g., farm-related tourism and farm employee accommodation) as principal land uses as well as the following accessory uses over 4.35 hectares (10.74 acres):

- A future detached dwelling, including a home occupation;
- A community garden; and
- Additional buildings/structures.

If approved, the proposed development would legalize an existing farmers market store located on the subject property.

Related Development Applications

The proponent has also submitted a Site Plan Application with the Municipality of Port Hope (file number SP03-2022) to review the technical aspects of the proposed development.

555 Courthouse Road, Cobourg, Ontario K9A 5J6
phone 905-372-3329 • fax 905-372-1696

**Zoning By-law Amendment Application – ZB03-2022
Site Plan Application – SP03-2022**

The proponent also advised that in 2020, the Municipality of Port Hope's Committee of Adjustment approved a land division application (file number B01/20), which severed the subject lands from the north abutting property municipally addressed as 8157 Hammill Road.

Existing and Surrounding Land Uses

The subject property is located on the northeast corner of Ganaraska Road (County Road 9) and Hammill Road. The property contains a vacant legal non-conforming farm operation, and is generally flat, with hedgerows along its boundary limits. The property contains a portion of an Area of Natural and Scientific Interest, the Garden Hill Pitted Outwash.

The surrounding land uses include: rural residential; North Hope Central Public School, agricultural, heavily treed areas, local municipal roads (Hammill Road, and Wilsons Lane) as well as County Road 9 (Ganaraska Road).

County and Applicable Provincial Land Use Policies

Northumberland County Official Plan (County OP)

The County OP designates the subject property as "Rural Settlement Area" (Hamlet of Garden Hill). "Rural Settlement Areas" provide for a mix of residential options supported by servicing; commercial uses supportive of the local residents and area; employment uses that provide for local needs; and sustainable, diversified tourism. The County OP also permits existing agricultural uses within rural settlement areas.

Based on the information provided, the proposed rezoning to recognize the existing agriculture and commercial uses on the property as well as allow a future detached dwelling, and farm employee accommodations as secondary uses would be supported by the policies of the County OP.

County OP policies allow existing agricultural land uses within a hamlet as well as a range of commercial uses that can support local residents and the surrounding area.

With respect to the site plan application, the County notes that additional information should be provided to clarify how the proposed and existing land uses will be situated on the property. As part of the site plan review process, Municipal staff are encouraged to consider:

- The scale (how much area is allocated) and general location for each land use;
- Location of sewage system(s) and setbacks;
- The submission of a parking study or an equivalent for the subject property to determine the following:
 - how many parking spaces are required; and
 - vehicular circulation (e.g., trucks, farm implement, commercial and passenger vehicles) to ensure no adverse conflicts;
- Location of garbage refuse; and
- How employee accommodation will be provided.

**Zoning By-law Amendment Application – ZB03-2022
Site Plan Application – SP03-2022**

The Municipality may also want to consider the use of a (“H”) Holding Provision on the property zone until the Site Plan requirements are addressed.

Finally, as mentioned above, the subject property contains vegetation along its property limits, the proponent should have regard for any environmental/conservation policies that may impact the proposed development.

Provincial Policy Statement (PPS)

The PPS indicates that the vitality of rural settlement areas (which include hamlets) is critical to the long-term economic prosperity of communities. The PPS also indicates that settlement areas are the focus of growth and development. Land use patterns within settlement areas should promote the efficient use of land and be based, in part, on accommodating an appropriate range and mix of land uses at appropriate scales suitable for hamlets that efficiently use land resources.

With respect to servicing, the PPS indicates that municipal services are the preferred form of servicing for settlement areas. Private individual and partial services may be permitted for infilling and minor rounding out.

The proposed development intends to include a range and mix of commercial and agricultural land uses at an appropriate scale suitable within the hamlet of Garden Hill. The development will also be privately serviced (water and septic system).

As such, the proposed development is consistent with the PPS.

Growth Plan for the Greater Golden Horseshoe (Growth Plan)

The Growth Plan encourages municipalities to plan for a variety of cultural, and economic opportunities within rural settlements to serve the needs of rural residents and area businesses.

The development proposes a range of commercial and agricultural land uses that will promote economic opportunities within the hamlet of Garden Hill servicing the needs of rural residents and area businesses.

As such, the proposed development conforms to the Growth Plan.

County Services

Public Works

County Public Works have reviewed these applications and have no comments on the proposed zoning by-law amendment application. However, detailed comments on the proposed Site Plan application will be provided under separate cover.

Sewage Inspections

County Inspection Services have reviewed this development proposal and require that the applicants provide the following:

October 27, 2022

**Zoning By-law Amendment Application – ZB03-2022
Site Plan Application – SP03-2022**

- The location of the sewage system(s) on the site plan drawings;
- Ensure all sewage system setbacks are met by providing a sewage system design with clearance distances as per the Ontario Building Code;
- Ensure that sewage systems maintain a minimum setback of 30 metres from the centreline of County Road 9 (Ganaraska Road); and
- A data matrix for the proposed building(s).

The County also requires that a note be provided on the site plan drawing indicating that a sewage system permit is required from Northumberland County.

County and Provincial Interests

This proposal has been screened in accordance with the responsibility under the *Planning Act* to have regard for matters of Provincial interest. Upon review, the County has not identified any matters of Provincial and County interest.

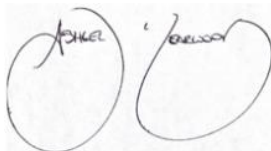
Summary

- The proposed rezoning would allow commercial and agricultural uses, and a range of supporting uses including farm-related employee accommodation, a detached dwelling, home occupation, and a community garden on the property.
- The associated site plan must demonstrate how the existing and proposed uses will be situated on the property.
- County Public Works will provide detailed comments on the Site Plan application under separate cover.
- A Holding (“H”) zone should be used to ensure the site plan requirements are addressed.
- Additional private sewage information is required as part of the Site Plan Review process.
- Additional comments from County Works will be provided under separate cover.

When Municipal Council makes a decision on the rezoning application, please provide a copy of their decision to my attention.

Please feel free to contact me should you have any questions related to this matter.

Sincerely,



Ashley Yearwood, MCIP, RPP
Senior Planner, Land Use Planning

Copy: Dwayne Campbell, Manager, Planning and Community Development / Chief Planner
Katie Bruinsma, Corridor Management Coordinator

Sagar Babbar

From: Warren Coulter
Sent: October 12, 2022 4:31 PM
To: Sagar Babbar
Cc: Mike van den Broek
Subject: RE: Technical Circulation_3402 Ganaraska Road

Sagar,
Please be advised that I have reviewed the above noted circulation and offer the following comments;

- W&E does not have any concerns with the Grading and Stormwater Management Plan as submitted.
- W&E would be interested in any updates from the County of Northumberland regarding access to this site (i.e., from County Road 9). If Hammill Road is proposed for any future access considerations, W&E will need to review all aspects of that option or future options.

Regards,

Warren Coulter
Engineering Project Coordinator
Municipality of Port Hope

Works & Engineering
Joint Operation Centre: 284 Victoria Street North
t. 905.885.2431 x. 4120
e. wcoulter@porthope.ca | porthope.ca



Sagar Babbar

From: WILSON, Chris <Chris.Wilson@canadapost.postescanada.ca>
Sent: October 5, 2022 10:33 AM
To: Sagar Babbar
Subject: RE: Technical Circulation_3402 Ganaraska Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Sagar,

No comments on behalf of Canada Post.

Thank you & have a great day,

Chris Wilson

Officer, Delivery Services
Canada Post Corporation
200-1860 Midland Ave.
Scarborough, ON, M1P 5A1
416-262-7408
chris.wilson@canadapost.ca

From: Sagar Babbar <SBabbar@porthope.ca>
Sent: September-29-22 10:56 AM
To: Mike van den Broek <MvandenBroek@porthope.ca>; Steve White <SWhite@porthope.ca>; Jacquie Hill-Bower <JHill-Bower@porthope.ca>; Ken Thajer <kthajer@grca.on.ca>; 'gillispieb@northumberlandcounty.ca' <gillispieb@northumberlandcounty.ca>; Campbell, Dwayne <campbelld@northumberland.ca>; Johnstone, Kirk <johnstonek@northumberland.ca>; Brian Gilmer <BGilmer@porthope.ca>; Julia Snoek <JSnoek@porthope.ca>; WILSON, Chris <Chris.Wilson@canadapost.postescanada.ca>; circulations@wsp.com; 'Jeff.Martin@opp.ca' <Jeff.Martin@opp.ca>; LANDUSEPLANNING <landuseplanning@hydroone.com>; Yearwood, Ashley <yearwooda@northumberland.ca>
Cc: Theodhora Merepeza <TMerepeza@porthope.ca>
Subject: Technical Circulation_3402 Ganaraska Road

This email is from an EXTERNAL sender. Please be CAUTIOUS, particularly with links and attachments. | Ce courriel est d'un expéditeur EXTERNE. Soyez PRUDENT, en particulier avec des liens et des pièces jointes.

Good Morning,

Planning staff have received application for Zoning By-law Amendment (ZB03-2022) from Jamie and Kristin Ferguson for lands located north of Ganaraska Road and east of Hammill Road and are municipally known as 3402 Ganarska Road. All the relevant documents related to this application can be found at the google drive link

Sagar Babbar

From: WILSON, Chris <Chris.Wilson@canadapost.postescanada.ca>
Sent: October 19, 2022 7:58 AM
To: Sagar Babbar
Subject: RE: Technical Circulation_Site Plan Application SP03-2022 - 3402 Ganaraska Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Sagar,

No comments on behalf of Canada Post.

Thank you,

Chris Wilson

Officer, Delivery Services
Canada Post Corporation
200-1860 Midland Ave.
Scarborough, ON, M1P 5A1
416-262-7408
chris.wilson@canadapost.ca

From: Sagar Babbar <SBabbar@porthope.ca>
Sent: October-18-22 4:44 PM
To: Mike van den Broek <MvandenBroek@porthope.ca>; Steve White <SWhite@porthope.ca>; Jacquie Hill-Bower <JHill-Bower@porthope.ca>; Brian Gilmer <BGilmer@porthope.ca>; Marshall, Denise <marshall@northumberland.ca>; circulations@wsp.com; Julia Snoek <JSnoek@porthope.ca>; Johnstone, Kirk <johnstone@northumberland.ca>; LANDUSEPLANNING <landuseplanning@hydroone.com>; Ken Thajer <kthajer@grca.on.ca>; WILSON, Chris <Chris.Wilson@canadapost.postescanada.ca>; Yearwood, Ashley <yearwood@northumberland.ca>; 'Jeff.Martin@opp.ca' <Jeff.Martin@opp.ca>
Cc: Theodhora Merepeza <TMerepeza@porthope.ca>; Todd Davis <TDavis@porthope.ca>
Subject: Technical Circulation_Site Plan Application SP03-2022 - 3402 Ganaraska Road

This email is from an EXTERNAL sender. Please be CAUTIOUS, particularly with links and attachments. | Ce courriel est d'un expéditeur EXTERNE. Soyez PRUDENT, en particulier avec des liens et des pièces jointes.

Good Evening Everyone,

Planning staff have received application for Site Plan Application (SP03-2022) from Jamie and Kristin Ferguson for lands located north of Ganaraska Road and east of Hammill Road and are municipally known as 3402 Ganarska Road. All the relevant documents related to this application can be found at the google drive link

Your comments on this application are requested by **November 8, 2022**. If your comments are **not** received by the date, it will be assumed that you do not have any comments or objections to this proposal. However, if it

Sagar Babbar

From: Theodhora Merepeza
Sent: October 11, 2022 4:42 PM
To: Todd Davis; Sagar Babbar
Subject: FW: 3402 Ganaraska Road

From: Ken Thajer <kthajer@grca.on.ca>
Sent: October 11, 2022 3:59 PM
To: Theodhora Merepeza <TMerepeza@porthope.ca>; Mike van den Broek <MvandenBroek@porthope.ca>; Steve White <SWhite@porthope.ca>
Cc: Joanne May <jmay@grca.on.ca>; Leslie Benson <lbenson@grca.on.ca>; Jessica Mueller <jmueller@grca.on.ca>; Michelle Giddings <mgiddings@grca.on.ca>
Subject: 3402 Ganaraska Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Re: Proposed Market
3402 Ganaraska Road (formerly 8157 Hammill Road)
Municipality of Port Hope

The Ganaraska Region Conservation Authority (GRCA) is in receipt a “Desktop Hydrogeological Assessment” (Crozier Aug. 29/22) and Ferguson Market Site Drainage- letter brief (Monument Geomatics- 22/08/10). GRCA also provides comments as a commenting agency to the Municipality of Port Hope with respect to Natural Heritage, Stormwater Management and Hydrogeology. As such, the Authority provides the following comments regarding the submissions.

Ontario Regulation 168/06

The subject property does not fall within a GRCA Regulated Area. On this basis, a GRCA permit will not be required for the proposed development.

Natural Heritage

The proposed development maintains appropriate setbacks from natural heritage features. However, GRCA has identified that the subject lands contain an Earth Science Area of Natural and Scientific Interest (ANSI). GRCA staff have forwarded the site plan drawing to the Northern Development, Mines, Natural Resources and Forestry (NDMNRF) for review to determine if the Province has any comments in this regard. However, GRCA has no further concerns regarding the development in relation to natural heritage features on the subject property.

Stormwater Management

Previously, GRCA requested the following:

- A grading plan;
- A stormwater management brief.

The above items must be completed by a qualified engineer to address stormwater management to ensure that there will be no adverse impacts on adjacent properties and Hamill Road and/or Ganaraska Road. Please ensure that the stormwater management brief references and is consistent with GRCA’s “Technical and Engineering Guidelines for Stormwater Management Submissions”: [Microsoft Word - Guidelines for swm submissions- FINAL.doc \(grca.on.ca\)](#)

GRCA is now in receipt of the Ferguson Market Site Drainage – letter brief (Monument Geomatics – 22/08/10). GRCA staff have reviewed the stormwater management brief and the Grading and Stormwater Management Plan (Fig. 2). The consultant has concluded that the increase in runoff, as a result of the relatively small development on a relatively large piece of property, is negligible and that there is a long overland sheet flow route before any runoff leaves the site. The consultant also concludes that, since this development is proposed at the very downstream end of the receiving tributary, on-site stormwater retention may result in peak runoff coinciding with the peak runoff in the tributary. GRCA staff accepts the consultant's conclusions that no stormwater controls are required on-site.

On this basis, GRCA's concerns with stormwater management has been addressed.

Hydrogeology

GRCA previously noted the following regarding the development: It is anticipated that the proposed lands to be developed will be serviced with private groundwater supplies and/or private on-site sewage disposal systems (ie: septic system). It is understood that it is the responsibility of proponents of all development applications to show, to the satisfaction of the Municipality, that the proposed development will not adversely impact the existing environment through the use of private on-site servicing, and that there is sufficient groundwater to provide an adequate water supply. It is understood that the Municipality would require a hydrogeology report in this instance. Should it be determined that a hydrogeology study is required, GRCA hydrogeology staff can provide review in this instance.

GRCA is not in receipt of a "Desktop Hydrogeological Assessment" prepared by Crozier and dated August 29, 2022. The document has addressed GRCA's concerns regarding hydrogeology.

Summary

All GRCA concerns have been addressed and the Authority has no objection to the approval of the Site Plan application.

GRCA notes that an initial review fee of \$500 was required and received. However, a detailed review fee is required in this instance by GRCA. Prior to final approval of the Site Plan application by the Municipality, GRCA staff request that a fee of \$1500 is first paid to the Authority. This is the Detailed Review Fee (Minor) as identified in GRCA's Fee Schedule: [Fee Schedule | GRCA](#). It is recommended that the applicant contact the GRCA in this regard. An invoice will be provided to the landowner from the Authority.

Please contact me if you have any questions.

Regards,

Ken Thajer, MCIP, RPP

Planning & Regulations Coordinator



"Clean Water Healthy Lands for Healthy Communities"

2216 County Road 28

Port Hope, ON L1A 3V8

(905) 885-8173 ext. 245 / (905) 885-9824 fax

kthajer@grca.on.ca / www.grca.on.ca / www.ganaraskaforestcentre.ca

Sagar Babbar

From: Kirk Johnstone via CityReporter <no-reply@cityreporter.ca>
Sent: September 29, 2022 2:52 PM
To: Johnstone, Kirk
Subject: Permit refnum: ZB03-2022

CAUTION: External E-Mail



Northumberland County
Mailing: 555 Courthouse Rd, Office: 600 William St.
Cobourg, ON K9A 5J6
Phone: 905-372-1929 Fax: 905-373-8567

Building Inspection Report

Reference #ZB03-2022
Address: 3402 Ganaraska Road
City: Port Hope

Inspection(s) Done:

Zoning Amendments 09/29/2022 02:45 PM **Items Rejected**

Zoning Amendments	
Inspected By: Kirk Johnstone on 09/29/2022 02:45 PM	
We would like to know how we did for you today, please complete our survey https://www.surveymonkey.com/r/XDGZ38X	
We have reviewed the application and have no objection with the zoning amendment. Please provide the final decision for our records when complete. If rejected, please see notes below.	Rejected
No concern with the zoning amendment. See comments below.	
The Zoning Amendment review fee of \$ 300.00 has been provided. N/A if accompanied with another application	Rejected
Please provide the fee.	

On site review photos and inspector notes No concern	Accepted
A change of use permit will be required to determine if the existing plumbing or on-site sewage system is being adversely affected	N/A
The property has either full or partial public services	N/A
The property will be provided with a new on-site sewage system. A new sewage system is proposed. A septic permit application must be applied for once the zoning amendment is completed and prior to a building permit being issued.	Accepted
The property has an existing sewage system which appears to be maintained and appears to be operating within the proper guidelines	N/A
A sewage system record has been located and it accurately describes the existing sewage system	N/A
A sewage system record was not found for this property. Please contact a licensed sewage system installer to locate and investigate the system for acceptable operation and maintenance. Provide a site plan drawing indicating the location and set back measurements, and size of all parts of the sewage system	N/A
The report, noted above, has been provided by the licensed sewage system installer	N/A
Comments	

If there are any Rejected items, the affected areas of the work must not be covered up unless otherwise indicated until these issues are resolved and Accepted following a re-inspection.

Sagar Babbar

From: Kirk Johnstone via CityReporter <no-reply@cityreporter.ca>
Sent: October 20, 2022 9:15 AM
To: Johnstone, Kirk
Subject: Permit refnum: SP03-2022

CAUTION: External E-Mail



Northumberland County
Mailing: 555 Courthouse Rd, Office: 600 William St.
Cobourg, ON K9A 5J6
Phone: 905-372-1929 Fax: 905-373-8567

Building Inspection Report

Reference #SP03-2022
Address: SPA 3402 Ganaraska Road
City: Port Hope

Inspection(s) Done:

Site Plan Approvals 10/20/2022 09:14 AM **Items Rejected**

Site Plan Approvals	
Inspected By: Kirk Johnstone on 10/20/2022 09:14 AM	
We have reviewed the application and have no objection with the Site Plan Approval. Please provide the final decision for our records when complete. If rejected, please see notes below. If you have any questions, please contact me at 905-373-2619 or johnstonek@northumberlandcounty.ca	Rejected
The Site Plan Approval (SPA) review fee of \$300.00 has been provided. Please make payable by cheque to Northumberland County which can be dropped off at 555 Courthouse Rd Cobourg or by credit card by calling the inspection line on this report.	Rejected

<p>On site review photos and inspector notes</p> <p>1. Please indicate the location of the sewage system on the site plan drawings. 2. To ensure all setbacks are met please provide a sewage system design with clearance distances noted as per the Ontario Building Code. Please ensure a 30 m setback to the center of the County Road to any part of the sewage system.</p>	<p>Rejected</p>
<p>Provide a Data Matrix for the proposed building(s)</p> <p>Please provide</p>	<p>Rejected</p>
<p>Provide a sewage system design by a qualified designer</p> <p>Please provide a note on the site plan drawing that a sewage system permit is required from Northumberland County.</p>	<p>Rejected</p>
<p>Comments</p>	

If there are any Rejected items, the affected areas of the work must not be covered up unless otherwise indicated until these issues are resolved and Accepted following a re-inspection.

Sagar Babbar

From: Jacquie Hill-Bower
Sent: October 18, 2022 10:30 AM
To: Sagar Babbar
Subject: RE: Technical Circulation_3402 Ganaraska Road

Good Morning Sagar

Port Hope Fire and Emergency Services has no objections or comments at this time regarding Zoning By-law Amendment (ZB03-2022).

Kind Regards, Jacquie



Jacquie Hill-Bower, CFPS
Fire Prevention Officer
Municipality of Port Hope
FIRE AND EMERGENCY SERVICES
245 Ontario Street, Port Hope ON, L1A 2V9
T: 905-753-2230 F: 905-753-2434
jhill-bower@porthope.ca | porthopefire.ca | porthope.ca

Duty to Protect, Privilege to Serve – Since 1834

**Caring • Communication • Dedication • Excellence in Service • Innovation • Integrity & Honesty
Teamwork • Honour & Respect • Pride • Professionalism**

From: Sagar Babbar <SBabbar@porthope.ca>
Sent: September 29, 2022 10:56 AM
To: Mike van den Broek <MvandenBroek@porthope.ca>; Steve White <SWhite@porthope.ca>; Jacquie Hill-Bower <JHill-Bower@porthope.ca>; Ken Thajer <kthajer@grca.on.ca>; 'gillispieb@northumberlandcounty.ca' <gillispieb@northumberlandcounty.ca>; Campbell, Dwayne <campbelld@northumberland.ca>; Johnstone, Kirk <johnstonek@northumberland.ca>; Brian Gilmer <BGilmer@porthope.ca>; Julia Snoek <JSnoek@porthope.ca>; WILSON, Chris <Chris.Wilson@canadapost.postescanada.ca>; circulations@wsp.com; 'Jeff.Martin@opp.ca' <Jeff.Martin@opp.ca>; LANDUSEPLANNING <landuseplanning@hydroone.com>; Yearwood, Ashley <yearwooda@northumberland.ca>
Cc: Theodhora Merepeza <TMerepeza@porthope.ca>
Subject: Technical Circulation_3402 Ganaraska Road

Good Morning,

Planning staff have received application for Zoning By-law Amendment (ZB03-2022) from Jamie and Kristin Ferguson for lands located north of Ganaraska Road and east of Hammill Road and are municipally known as 3402 Ganarska Road. All the relevant documents related to this application can be found at the google drive link

Sagar Babbar

From: LIU Alan <Alan.Liu@hydroone.com> on behalf of LANDUSEPLANNING <LandUsePlanning@HydroOne.com>
Sent: October 27, 2022 4:30 PM
To: Sagar Babbar
Subject: Municipality of Port Hope - SP03-2022 - 3402 Ganaraska Road

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hello,

We are in receipt of your Site Plan Application, SP03-2022 dated October 18, 2022. We have reviewed the documents concerning the noted Plan and have no comments or concerns at this time. **Our preliminary review considers issues affecting Hydro One's 'High Voltage Facilities and Corridor Lands' only.**

For proposals affecting 'Low Voltage Distribution Facilities' please consult your local area Distribution Supplier.

To confirm if Hydro One is your local distributor please follow the following link:
<http://www.hydroone.com/StormCenter3/>

Please select " Search" and locate address in question by entering the address or by zooming in and out of the map

Sagar Babbar

From: Julia Snoek
Sent: November 1, 2022 11:39 AM
To: Sagar Babbar
Subject: RE: Technical Circulation_Site Plan Application SP03-2022 - 3402 Ganaraska Road

Hi there, no comments from PRC. Thanks.

Julia Snoek, CRFP
Director, Parks, Recreation and Culture
Municipality of Port Hope

905-885-8760 x 4108
jsnoek@porthope.ca
www.porthope.ca

Office Location:
Joint Operations Centre
284 Victoria Street North, Port Hope, Ontario